

CITY OF ST. PETERSBURG, FLORIDA

PLANNING & DEVELOPMENT SERVICES DEPT. DEVELOPMENT REVIEW SERVICES DIVISION

STAFF REPORT

DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST PUBLIC HEARING

For **Public Hearing** and **Executive Action** on **January 4, 2023,** beginning at 10:00 A.M., Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Department records, **no Commission member** has a direct or indirect ownership interest in rear property located within 2,000 linear feet of real property contained within the application (measured by a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 22-54000081 PLAT SHEET: E-16

REQUEST: Approval of variances to reduce the required front yard setbacks

for a stoop, open porch, and building to allow for the construction

of a new single-family residence.

OWNER: Kelsey & Spurgeon Littlefield

111 27th Avenue North St. Petersburg, FL 33704

AGENT: Sean Roney

535 Central Avenue, Suite M-1 St. Petersburg, FL 33701

ADDRESS: 111 27th Avenue North

PARCEL ID NO.: 07-31-17-02754-005-0230

LEGAL DESCRIPTON: On File

ZONING: Neighborhood Traditional Single-Family - 3 (NT-3)

DRC Case No.: 22-54000081

Page 2 of 6

VARIANCE DATA:

	Code Requirement	Proposed	Variance (Magnitude)
Front Setback – Stoop	20-feet	11.7-feet	8.3-feet (41.5%)
Front Setback – Porch	23-feet	17.6-feet	5.4-feet (23.5%)
Front Setback – Building	30-feet	24.8-feet	5.2-feet (17.3%)

REQUEST: This application requests variances to reduce the minimum required front yard setbacks for a stoop, front porch, and building to allow for the construction of a new single-family residence.

DISCUSSION: The subject property is a fully platted lot (Lot 23) platted in 1910. The existing home was built in 1948 and the current homeowners purchased the property in 1998. The property is 50-feet wide x 127.5-feet deep resulting in a 6,375 square foot lot area. The property is undersized for the NT-3 Zoning District requirements of 60-feet minimum lot width and 7,620 square feet minimum lot area. The proposed variances are sought to alleviate the undersized buildable envelope as a direct result of the application of the NT-3 setbacks undersized property width and size.

The property currently has a single-story single-family home and detached rear alley-loading garage behind with nonconforming front and side setbacks. The proposed redevelopment of the property includes a new single-story single-family home, a two-story accessory structure with a garage on the ground floor with an accessory dwelling unit above, and a pool and patio area between the structures. The side and rear setbacks of the proposed structures meet Code requirements, and the front building setback slightly exceeds the existing home's front building setback. The new front porch is required as a component of the Code's design requirements and the new stoop is larger than typical due to the elevated finished floor as a result of Building Code flood requirements. The proposed redevelopment will meet or exceed all other Code requirements including building coverage, impervious surface coverage, floor area ratio, fenestration, and transparency.

Allowing for a front setback reduction would allow for a new home to be constructed to remedy the existing deficient interior side setbacks shared with neighboring property owners while allowing a modestly sized home in terms of FAR and building coverage on a narrow lot given the zoning district standards.

CONSISTENCY REVIEW COMMENTS: The Planning & Development Service Department staff reviewed this application in the context of the following criteria excerpted from the City Code and found that the requested variance is consistent with these standards. Per City Code Section 16.70.040.1.6 Variances, Generally, the DRC's decision shall be guided by the following factors:

DRC Case No.: 22-54000081 Page 3 of 6

Special conditions exist which are peculiar to the land, building, or other structures for which
the variance is sought and which do not apply generally to lands, buildings, or other
structures in the same district. Special conditions to be considered shall include, but not be
limited to, the following circumstances:

a. Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site.

The Property Owners intend to redevelop the site with a new single-family home with an accessory dwelling unit; both are allowable uses in the NT-3 Zoning District.

b. Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district.

The subject property is zoned NT-3 and is deficient in terms of both lot width and lot area.

c. Preservation district. If the site contains a designated preservation district.

This criterion is not applicable. The subject property does not contain a designated preservation district.

d. Historic Resources. If the site contains historical significance.

This criterion is not applicable. The subject property does not contain any historically significant resources.

e. Significant vegetation or natural features. If the site contains significant vegetation or other natural features.

This criterion is not applicable. The subject property does not contain any significant vegetation or other natural features.

f. Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements.

The proposed project promotes the established development pattern of the street. The average front building setback along this block face is 28.38-feet, deficient to today's standard of 30-feet. The proposed home will meet side and rear setback requirements as well as all other dimensional requirements while maintaining a single-story principal structure and incorporating traditional architectural design elements in its construction.

g. Public Facilities. If the proposed project involves the development of public parks, public facilities, schools, public utilities or hospitals.

This criterion is not applicable. The subject property does not involve any public facilities or resources.

DRC Case No.: 22-54000081 Page 4 of 6

2. The special conditions existing are not the result of the actions of the applicant;

The conditions are not the result of the Applicant. The original platting of the subdivision occurred in 1910. The current homeowners purchased the property in 1998. The new porch and stoop are required by Code when developing a new single-family home.

3. Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;

The literal enforcement of the Code regulations would result in unnecessary hardship. The subject property is peculiar as it is substantially smaller than typical NT-3 zoned properties and do not apply generally to properties in the NT-3 zoning district. The property's width and size are more similar to an NT-2 designated property which would require lesser side setbacks and front setbacks similar to the proposed home. The property's deficient width reduces the buildable envelope.

4. Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;

The strict application of the provisions of the Code would leave a prohibitively small buildable envelope if the standard setback requirements were applied to the subject property.

5. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;

The variance requested is the minimum variance that will make possible the reasonable use of the land. The proposed home has been designed to eliminate the need for other setback variances on the three remaining sides of the structure while maintaining the existing front building setback and providing a new Code-required porch and stoop. If standard setbacks were applied to the proposed home, the home would be pushed back and likely require a two-story design to allow for reasonable use of the property. The single-story design of the proposed home is reasonable with a larger footprint as supported by the FAR bonus provided by and encouraged by the Code for single-story structures.

6. The granting of the variance will be in harmony with the general purpose and intent of this chapter;

The granting of the requested variance will be in harmony with the general purpose and intent of the Code. The purpose of setback regulations is to protect the use, value, and esthetic of neighboring property, both private and public. Building a new home with conforming side and rear setbacks protects the use of neighboring owners to each side and the use of the public alley to the rear. The intent of the front setback is preserved with the absence of a public sidewalk combined with more than 16 feet of right-of-way between the front property line and the granite curb as well as creating a shorter one-story presence.

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7. The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare;

The granting of this variance will not be injurious to neighboring properties or detrimental to public welfare. The proposed interior side setbacks of the new home are Code-compliant and greater than the existing home enhancing the adjacent properties' potential value and use.

8. The reasons set forth in the application justify the granting of a variance;

The property's dimensional characteristics justify the granting of these variances. The greater side setbacks, deficient property width, required porch and stoop elements, and their required height justify granting these variances.

9. No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.

No other neighboring lands, buildings, or other structures are being considered.

PUBLIC COMMENT: The subject property is within the boundaries of the Historic Old Northeast Neighborhood Association (HONNA). HONNA supports the requests to reduce the required front setbacks given the proposed home's traditional architectural design elements including three-dimensional window muntins and working shutters on the windows. At the time of publishing this report, no inquiries from the general public have been received by Staff.

DRC Case No.: 22-54000081

Page 6 of 6

STAFF RECOMMENDATION: Based on the stringent standards of approval contained within the City Code, the Development Review Services Division staff recommends <u>Approval</u> of the requested variances.

CONDITIONS OF COMMISSION ACTION: If the variance is approved consistent with the site plan submitted with this application, the Development Review Services Division staff recommends that the approval shall be subject to the following:

- 1. The plans and elevations submitted for permitting should substantially resemble the plans and elevations submitted with this application.
- 2. The proposed structure shall comply with all NT-3 regulations including design requirements.
- 3. The proposed structure shall incorporate three-dimensional window muntins and designappropriate window shutters
- 4. This variance approval shall be valid through January 4, 2026. Substantial construction shall commence prior to this expiration date. A request for extension must be filed in writing prior to the expiration date.
- 5. Approval of this variance does not grant or imply other variances from the City Code or other applicable regulations.

REPORT PREPARED BY:

/s/ Michael Larimore	12/22/2022	
Michael Larimore, Planner II Development Review Services Division Planning and Development Services Department	Date	
REPORT APPROVED BY:		
/s/ Corey Malyszka	12/22/2022	
Corey Malyszka, AICP Zoning Official Development Review Services Division Planning and Development Services Department	Date	

Attachments: Location Map; Application including Narrative, Neighborhood Worksheet, Survey, Floor Plans, Architectural Renderings, and Architectural Elevations; Letter of Support from HONNA



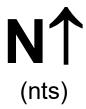


PROJECT LOCATION MAP

Case No.: 22-54000081

Addresses: 111 27th Avenue N.

City of St. Petersburg, Florida Planning & Development Services Department





Included in this packet:

- Pre-Application Meeting Notes
- Application
- Affidavit to Authorize
- General Information
- Narrative
- Neighborhood Worksheet
- Public Participation Report

Planning and **Development Services** Department

Development Review Services

City of St. Petersburg P.O. Box 2842 St. Petersburg, FL 33731-2842 727.893.7471

UPDATED: 12-17-2020

VARIANCE

Application No. _____

List of Required Submittals Only complete applications will be accepted:

☐ Completed variance application and narrative

_	
	Pre-application Meeting Notes
	Affidavit to Authorize Agent, if Agent signs application
	Application fee payment (See fee schedule on Variance Application)
	Public Participation Report
	Proof that Notice of Intent to File was sent to Neighborhood and Business Associations
	 2 copies of Site Plan or Survey of the subject property: To scale on 8.5" x 11" or 11" x 17" paper North arrow Setbacks of structures to the property lines Dimensions and exact locations of all property lines, structures, parking spaces, trees, and landscaping
	 2 copies of Floor Plans: To scale on 8.5" paper Locations of all doorways, windows and walls (interior and exterior) Dimensions and area of each room
	 2 copies of Elevation Drawings: On 8.5" x 11", 8.5" x 14", or 11" x 17" paper Depicts all sides of existing & proposed structure(s)
	Samples or a detailed brochure for new materials to be used
	PDF of all above items (may be emailed to Staff Planner)
The fo	ollowing items are optional, but strongly suggested: Neighborhood Worksheet
	Photographs of the subject property and structure(s)
	-Application Meeting is Required Prior to Submittal.
	Completeness review by City Staff



Pre-Application Meeting Notes

viceting bate.	Zo	ning District:	
Address/Location:			
Request:			
Type of Application:	Sta	ff Planner for Pre-App:	
Attendees:			
Neighborhood and Busin	ess Associations within 30	0 feet:	
Assoc.	Contact Name:	Email:	Phone:
(Soo Bublic Participation Pe	aport in applicable Application	Package for CONA and	1 FICO contacts)
See Public Participation Re	 eport in applicable Application	n Package for CONA and	d FICO contacts.)
	eport in applicable Application	-	·
Notes:			·



Signature of Owner / Agent*:

*Affidavit to Authorize Agent required, if signed by Agent.

Typed Name of Signatory:______

VARIANCE

Application	No.	
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All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

Development Neview Services Division,	Totaled off the 1 Hoof of the Wi	amorpai ocivioco banang, One i	Sarai Guect North.
	GENERAL INFORM	ATION	
NAME of APPLICANT (Property	y Owner):		
Street Address:			
City, State, Zip:			
Telephone No:	Email Addres	s:	
NAME of AGENT or REPRES	ENTATIVE:		
Street Address:			
City, State, Zip:			
Telephone No:	Email Address	S:	
PROPERTY INFORMATION:			
Street Address or General Loc	cation:		
Parcel ID#(s):			
DESCRIPTION OF REQUEST:			
PRE-APPLICATION DATE:	PLANNER:		
	FEE SCHEDULE		
1 & 2 Unit, Residential - 1st Var 3 or more Units & Non-Residen		Each Additional Variance After-the-Fact Docks	\$100.00 \$500.00 \$400.00
Casi	h, credit, checks made payable to "Cit	Flood Elevation y of St. Petersburg"	\$300.00
	AUTUODIZATIO	ANI	
	AUTHORIZATIO)N	
City Staff and the designated Commis Code violations on the property that a Assistance Department.			
The applicant, by filing this application conform to all conditions of approva application has been completed, and substantial time and expense. Filing application does not result in remittance.	I. The applicant's signature of that the applicant understand an application does not guarantee.	affirms that all information conds that processing this applic	ontained within this cation may involve
NOTE: IT IS INCUMBENT UPON THE		ORRECT INFORMATION. AN	•

Date:



CITY OF ST. PETERSBURG PLANNING & DEVELOPMENT SERVICES DEPT. DEVELOPMENT REVIEW SERVICES DIVISION

DEVELOPMENT REVIEW COMMISSION AFFIDAVIT TO AUTHORIZE AGENT

I am (we are) the owner(s) and record title holder(s) of the property noted herein
Property Owner's Name: SPURGEON & KELSEY LITTLEFIELD
This property constitutes the property for which the following request is made
Property Address: 111 27th Avenue North
Parcel ID No.: 07-31-17-02754-005-0230
Request:Reduced Front Yard Setback
The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s) Agent's Name(s): Sean Roney-Roney Design Group
This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.
l(we), the undersigned authority, hereby certify that the foregoing is true and correct.
Signature (owner): Kelsey C. d. Hlefield Kelsey C Littlefield Printed Name
Sworn to and subscribed on this date $08/08/2022$
Identification or personally known: FC DC
Notary Signature: Date: Date:
Notary Public State of Florida Dakota Stahl My Commission GG 367390 Expires 08/19/2023



GENERAL INFORMATION

Pre-application Meeting

All applicants are required to schedule a pre-application meeting two weeks prior to submittal of an application. Meetings may be held via telecom. If an application is submitted without a pre-application meeting, and the application is deemed to be incomplete or incorrect, the application may be delayed. Please contact Iris Winn to schedule: 727-892-5498.

Public Participation Report

All applicants are required to contact the applicable Neighborhood Association President, Business Association, CONA and FICO, a minimum of 10-days prior to filing the application and complete the Public Participation Report prior to submittal of an application. Applications without the Public Participation Report will not be accepted. The contact information will be provided to the applicant by staff at the pre-application meeting. Reports may be updated and resubmitted up to 10-days prior to the scheduled public hearing.

Commission Review

By applying to the Commission, the applicant grants permission for Staff and members of the Commission to visit the subject property to evaluate the request. Applicants with special requests related to timing of site visits should advise Staff in writing at the time of application submittal. Any Code violations found by the City Staff or the Commission members during review of the subject case will be referred to the Codes Compliance Assistance Department.

Legal Notification

All applications made to the Commission are required by Florida Statute and City Code to provide public notification of requested variances, reinstatements of grandfathered uses, and redevelopment plans. The applicant will be required to post a sign on the subject property and send via the U.S. Postal Service by "Certificate of Mailing" notification letters to all property owners within 300-feet of the subject property. The City will provide one (1) original notification letter, a list of properties, mailing labels, sign, and procedures to complete the posting of the sign and the notification of property owners. These legal notifications must be completed by the dates noted on the Commission schedule with verification of mailing and sign posting returned to Staff within seven (7) days of the meeting date.

Public Hearing

Applications appropriate for public hearing will be heard by the Commission on the dates listed on the Commission schedule. The public hearings begin at 2:00 P.M. and will be held temporarily at the Sunshine Center (Auditorium), located at 330 5th Street North. All proceedings are quasi-judicial. Therefore, it is required that the property owner or authorized representative attend the hearing.

Commission Approvals

If approved by the Commission, permits, inspections, business taxes, and certificates of occupancy are required, when applicable. All conditions of approval must be completed and approved by the date specified in the report. Failure to satisfy these requirements will invalidate the approval of the request. Approval of a request by the Commission or POD (person officially designated) does not grant or imply other variances from the City Code, FEMA regulations, or other applicable codes. Applicants are advised to contact the Construction Services and Permitting Division at (727) 893-7231 to determine if any other regulations may affect a given proposal.



NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses by typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
Street Address: Case No.:
Detailed Description of Project and Request:
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.
3. How is the requested variance not the result of actions of the applicant?



NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses by typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?
mak naye niii ganang moraquotta namanoo moranacoo e makasa na ganacin can
5. What other alternatives have been considered that do not require a variance? Why are these
alternatives unacceptable?
6. In what ways will granting the requested variance enhance the character of the neighborhood?



NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address (465th A.)	
Street Address: 111 27th Ave. N. Case No.:	
Description of Request: Reduce Building front yard setback from 30ft to 24.6 ft. (Match current location) Reduce Porch front yard setback from 23ft to 17.6 ft.	
Reduce Forch from yard Setback from 25tt to 17.6 ft.	
The undersigned adjacent property owners understand the nature of the applicant's request and do object (attach additional sheets if necessary):	not
The state of the s	
1. Affected Property Address: 101 മാ നം. നാം	
Owner Name (print): Eugene & Pamela Schilling	
Owner Signature: Eugen Ahlling Ramelo Schillena	-
9	
2. Affected Property Address: 133 20 Apr. Oo	
Owner Name (print): Thomas : Lautie Makagawa	
Owner Signature: January Daharana	
3. Affected Property Address: レリ るつ	
Owner Name (print): Joseph & Karen Mooney	
Owner Signature: Kunopuli 1	
4. Affected Property Address: 120 27 → No.	
Owner Name (print): Benjamin Poldins	
Owner Signature: Rice A. Tob Ci	
5. Affected Property Address: 125 274 Ale, No.	NATIONAL CONTRACTOR OF THE PARTY OF THE PART
Owner Name (print):	
Owner Signature:	
6. Affected Property Address: 126 27 th Are No.	
Owner Name (print): VALERIE AUXERS	
Owner Signature: Valereeff Light	
7. Affected Property Address: 2631 ISF St NE	
Owner Name (print): Randall Baskin	
Owner Signature: Zoudound, R	
Affected Property Address:	
Owner Name (print):	
Owner Signature:	



PUBLIC PARTICIPATION REPORT

Application	No

In accordance with LDR Section 16.70.040.1.F., "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a decision requiring a streamline review or public hearing. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, (except when the application is for a local historic district) but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

NOTE: This Report may be updated and resubmitted up to 10 days prior to the scheduled Public Hearing.

APPLICANT REPORT
Street Address: 111 27th AVE N
Details of techniques the applicant used to involve the public
(a)Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal
(b) Content, dates mailed, and number of mailings; including letters, meeting notices, newsletters, and other publications
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located
Summary of concerns, issues, and problems expressed during the process
2. Summary of concerns, issues, and problems expressed during the process
NOTICE OF INTENT TO FILE
A minimum of ten (10) days prior to filing an application for a decision requiring Streamline or Public Hearing approval, the applicant shall send a copy of the application by email to the Council of Neighborhood Associations (CONA) (c/o
Tom Lally at variance@stpetecona.org), by standard mail to Federation of Inner-City Community Organizations
(FICO) (c/o Kimberly Frazier-Leggett at 3301 24th Ave. S., St. Pete 33712) and by email to all other Neighborhood
Associations and/or Business Associations within 300 feet of the subject property as identified in the Pre-Application
Meeting Notes. The applicant shall file evidence of such notice with the application.
— Deta Nation of Intent to File cont to Associations within 200 for A CONA I FICO: 40/05/0000
Date Notice of Intent to File sent to Associations within 300 feet, CONA and FICO: 10/25/2022
□ Attach the evidence of the required notices to this sheet such as Sent emails.

BENJAMIN ROBBINS

Re: Variance to reduce building front yard setback from 30ft to 24.6ft (Match current location)
Reduce Porch front yard setback from 23ft to 17.6ft

To Whom It May Concern,

I have reviewed the request for the plans for a variance concerning the setbacks for 111 27th Ave North. I have no objections and support the improvements being proposed for this property.

Benjamin Robbins

120 27th Ave North

St.Petersburg, FL 33704

Re: Variance to reduce building front yard setback from 30ft to 24.6ft (Match current location) Reduce Porch front yard setback from 23ft to 17.6ft

To Whom It May Concern,

I have reviewed the request for the plans for a variance concerning the setbacks for 111 27th Ave North. I have no objections and support the improvements being proposed for this property.

Eugene & Pamela Schilling

101 27th Ave North

St.Petersburg, FL 33704

Re: Variance to reduce building front yard setback from 30ft to 24.6ft (Match current location) Reduce Porch front yard setback from 23ft to 17.6ft

To Whom It May Concern,

I have reviewed the request for the plans for a variance concerning the setbacks for 111 27th Ave North. I have no objections and support the improvements being proposed for this property.

Joseph & Karen Mooney

114 27th Ave North

St.Petersburg, FL 33704

Re: Variance to reduce building front yard setback from 30ft to 24.6ft (Match current location) Reduce Porch front yard setback from 23ft to 17.6ft

To Whom It May-Concern,

I have reviewed the request for the plans for a variance concerning the setbacks for 111 27th Ave North. I have no objections and support the improvements being proposed for this property.

Lawrie & Maleagana 10.31-22

Thomas & Laurie Nakagawa 123 27th Ave North St.Petersburg, FL 33704

Sean Roney

From: Sean Roney

Sent: Thursday, October 27, 2022 1:47 PM

To: variance@stpetecona.org

Subject: Notice of Intent to File-111 27th Ave N

Attachments: Public Participation Report.pdf; Pre App Meeting Notes - 111 27th Ave N.pdf

Importance: High

RE: 111 27th Avenue North - St. Petersburg, FL 33704

My name is Sean Roney and I am the agent representing the home owners at the above subject address. We are in the process of submitting a variance application by the November 7, 2022 deadline and I was instructed to contact you 10 days prior to filing the application to fill out the public participation report regarding our request. I have attached that form as well as the pre-application meeting notes from city staff. Please let me know if you need any additional information from me. I will email you a copy of the application after it has been filed with the city on November 7, 2022.

Sincerely, Sean T. Roney, CPBD, AIBD Managing Partner

Quote of the year: "Building Designer – definition: Someone who solves a problem you didn't know you had in a way you don't understand."



535 Central Avenue, Suite M-1 St. Petersburg, Florida 33701 727-822-8600 sean@roneydesign.com www.roneydesign.com











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Sean Roney

From: Sean Roney

Sent: Thursday, October 27, 2022 1:47 PM

To: honnapresident@gmail.com

Subject: Notice of Intent to File-111 27th Ave N

Attachments: Public Participation Report.pdf; Pre App Meeting Notes - 111 27th Ave N.pdf

RE: 111 27th Avenue North - St. Petersburg, FL 33704

My name is Sean Roney and I am the agent representing the home owners at the above subject address. We are in the process of submitting a variance application by the November 7, 2022 deadline and I was instructed to contact you 10 days prior to filing the application to fill out the public participation report regarding our request. I have attached that form as well as the pre-application meeting notes from city staff. Please let me know if you need any additional information from me. I will email you a copy of the application after it has been filed with the city on November 7, 2022.

Sincerely, Sean T. Roney, CPBD, AIBD Managing Partner

Quote of the year: "Building Designer – definition: Someone who solves a problem you didn't know you had in a way you don't understand."



535 Central Avenue, Suite M-1 St. Petersburg, Florida 33701 727-822-8600 sean@roneydesign.com www.roneydesign.com





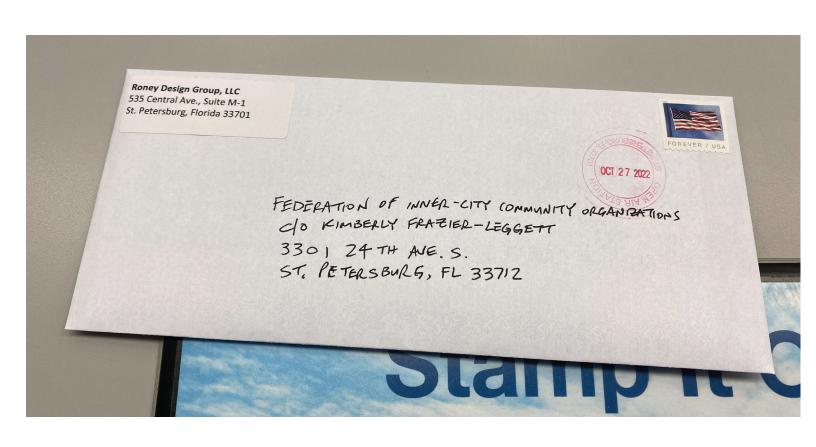






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Google Maps 120 27th Ave N



Image capture: Aug 2019 © 2022 Google

←	111 27th Ave N
All	Street View & 360°

CITY OF ST. PETERSBURG PLANNING & ECONOMIC DEVELOPMENT DEPT. DEVELOPMENT REVIEW SERVICES DIVISION

Neighborhood Traditional Analysis Calculator			
Site Address:	111 27th Ave N		
Parcel ID or Lot #:	07-31-17-02754-005-0230		
Zoning District:	NT-3		
Permit # if Known			
1st Submittal Date:	Nov. 7, 2022		
Revision Date:			

Note: Lot Area and One of the two below lines must be filled in for results to show in grey fields below.

Lot Area in Sq Ft	6,374
	4 500
Front Yard Area in Sq Ft (area between the front building setback line & the front property line)	1,503
OR	
Front and Street Side yard Area Combined in Sq Ft (Front = area between the front building setback line	
& the front property line, Side = area between the Street Side building setback line & the Street Side	
property line)	

Only fill in numerical values in this calculator in the white cells, grey cells have formulas embedded

16.20.010.5 Maximu	m Developmen	t Potential			
			BUILDING COV	'ERAGE	
Includes all enclosed st	ructures.				
	Lot Total	% of Building Coverage Area Allowed	Square Feet of Building Coverage Allowed	Building Coverage in	Actual Building Coverage in Percentage
If primary is not one					
story	1,200	55%	660		0.00%
OR					
If primary is one story	6 374	60%	3 824	2 878	<i>1</i> 5 15%

IMPERVIOUS SURFACE RATIO (Site Ratio)

Impervious surface means a surface that has been compacted or covered with a layer of material so that it is resistent to or prevents infiltration by stormwater. It includes, but is not limited to, roofed areas, pools, and surfaces such as compacted sand, limerock, or clay, as well as conventionally surfaced streets, sidewalks, parking lots, pavers, and other similar surfaces. For purposes of calculating the ISR, 50 percent of the surface area of decks shall be included as impervious surface.

Deck means a structure consisting of a floor that is raised above the finished grade of the lot, typically, the structure is elevated on piers and constructed of wood or simulated wood materials. The pier construction eliminates the need for changes to the existing grade.

				Actual	Actual
		% of		Impervious	Impervious
	Lot Total	Impervious		Area In Square	Area In
	Square Feet	Area Allowed	Sq Ft Allowed	Feet	Percentage
Entire Site	6,374	65%	4,143	908	14.25%
Interior Lot - Front					
Yard	1,503	45%	676	466	31.00%
OR					
Corner Lots Only -					
Front Yard and Street					
Side Yard Combined	0	25%	0		#DIV/0!

email devrev@stpete.org for a digital version or dowload at www.stpete.org/LDR

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FLOOR AREA RATIO

Floor area ratio (FAR) is the measurement of intensity of building development of a site. A floor area ratio is the relationship between gross floor area on a site and the gross land area. The FAR is calculated by adding together the gross floor area of all buildings on the site and dividing the sum by the net land area. For example, a floor area ratio of 1.0 means one square foot of building may be constructed for every one square foot of lot area.

In the NT zoning districts the FAR includes any enclosed space above the required design flood elevation line, including enclosed garage space, but excludes that portion of the enclosed space that is below the reguired design flood elevation and up to 500 sf of the floor area of any detached accessory dwelling unit.

			Total Square	
			Feet	
Total Allowed FAR				
Base	0.40		2,550	
FAR Potential with				
Bonuses Requested				
from Next Page - But				
cannot exceed max				
Immediately below				
this row	0.15		956	
Max FAR Allowed is				
.40 base plus potential				
of .20	0.60		3,824	

	Proposed G	iross Floor Area	New Plus Existi	ing
Actual First Floor (Exclude Percentage o	f Space Below De	sign Flood		
Elevation)	1,560			
Actual Second Floor	768			
Attic if Accesible via Stair			0	
Actual Garage		768		
Actual Other Enclosed		62		
500 Square Foot Exemption for Accesso	(Enter as			
Negative 500)	-500			
		Total FAR		
		Requested	2,658	
		Max FAR		
		Allowed	3,824	

FLOOR AREA RATIO

Residential Floor Area Ratio Bonus. An FAR bonus of up to 0.20 shall be granted when structures incorporate design elements set forth herein. The following options may be utilized in any combination, however, the maximum FAR bonus is 0.20.

The following options may be utilized in any combination, nowever, the maximum			Drawing
		Bonus	Detail / Sheet
R Bonus Points Requested	Max Allowed	Requested	#
a. One story covered front porch with a separate roof structure with a minimum width			
of 60% of the front façade: 0.08 bonus. No bonus is allowed if there is a second story			
deck, porch or roof structure.	0.08		
b. Additional second story front setbacks: .01 bonus for every 1 foot of additional front			
setback of the entire facade, and .005 bonus for every 1 foot of additional front setback			
of at least one third of the facade but which is less than the entire facade, no bonus is			
allowed unless the setback is at least six feet, maximum 0.10 bonus. No bonus is			
allowed if there is a second story deck, porch or roof structure.	0.10		
c. Additional second story side setbacks: .01 bonus for every 1 foot of additional side			
setback of the entire façade, maximum 0.05 bonus per side.	0.05/side		
d. Total residential floor area of the second story does not exceed 75% of the first story			
(excludes garage sf): 0.05 bonus.	0.05		
e. Reduction of the height of both the peak and roofline of a two story building from			
the maximum allowed height: 0.02 bonus per foot, maximum 0.06.	0.06		
·			
f. The entire peak of the primary roof structure of the front façade is parallel to the			
front property line: bonus 0.02, or if the entire peak of the primary roof structure of			
the front façade is parallel to the front property line and the roof has dormer(s) which			
are equal to at least 20% of the width of the front façade: 0.04 bonus.	0.04		
	0.0		
g. Side façade articulation: side facades which feature offsets of at least two feet in			
depth that are at least twelve feet in length that divide the building design and are in			
the front two thirds of the side facade: 0.02 bonus per side, maximum 0.04.	0.04		
h. Front facade articulation: front facades (excluding the porch) which feature offsets of			
at least six feet in depth for a minimum of one third of the front façade, 0.06 bonus for			
each additional foot, maximum 0.10	0.10		
i. All windows have true or simulated divided light muntins on interior and exterior	0.10		
surfaces: 0.03 bonus.	0.03		
j. One story - principal structure: 0.15 bonus.	0.15	0.15	sht D5 & D6
	0.13	0.13	3110 0 0 00
k. One story - all structures: 0.20 bonus.	0.20		
I. Style, materials and detailing consistent with an Architectural Style in St. Petersburg's	0.10		
Design Guidelines for Historic Properties: .10 bonus m. Planting of larger shade trees between the front façade and the curb - 4" min caliper	0.10		
measured 6" above grade, Spread 8" -10", Height 4-ft to 16-ft, 100 gallon container	0.03		
grown: 0.01 bonus per tree, maximum 0.02 bonus.	0.02		
n. LEED or Florida Green Building Coalition Certification: 0.05 bonus.	0.05		
o. Solar Ready: .02 bonus.	0.02		
Total of Bon	uses Requested	0.15	

Repetitive Design

Design of homes on the same block face on either side of the street or within an adjacent block face on either side of the street shall be varied, such that a substantially similar design will not be replicated. There shall be a minimum separation of three parcels in every direction before a substantially similar design can be repeated. Variation shall include at least three of the following elements: architectural style, roof form (principal or porch), materials, architectural details (doors, windows, columns, porches).

architectural style, root	Torrir (principal (of porelly, materials, are intectural details (doors, windows, columns, porelles).
Yes	No	
	Χ	

16.20.010.11 Building and Site Design

Wall composition and transparency.

Doors, windows and other appropriate fenestration, architectural details, and features shall be incorporated into all sides of a building. There shall be no blank facades, except that garages located at the rear one-third of the lot may have blank facades but not on the street side.

No portion of a facade shall contain a blank area greater than 16 feet in width.

Facade is the face or elevation of a building:

To determine the façade area:

The area of the regulated exterior facade corresponds to the height measurement from the finished floor to the ceiling of the interior space multiplied by the exterior length.

Less any intersecting wall(s) and exterior roof structure(s) within the above area.

For multiple story building; the exterior façade area corresponding to any floor joist(s) is/are not included.

Front porches shall only be included when flush with the side façade of the building. Rear porches shall not be included.

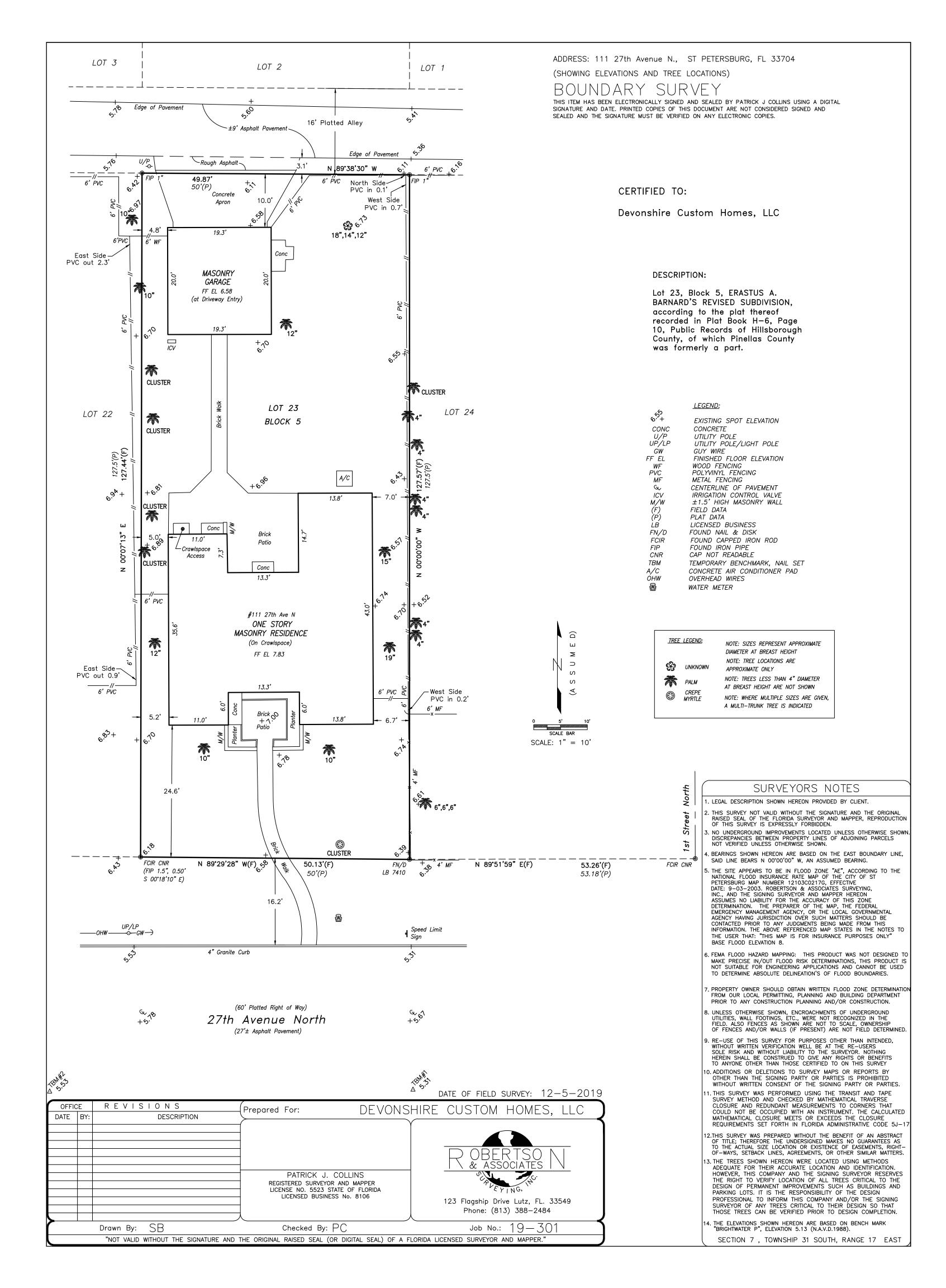
Fenestration - windows, doors and other exterior openings in a building and includes trim, shutters, columns and other

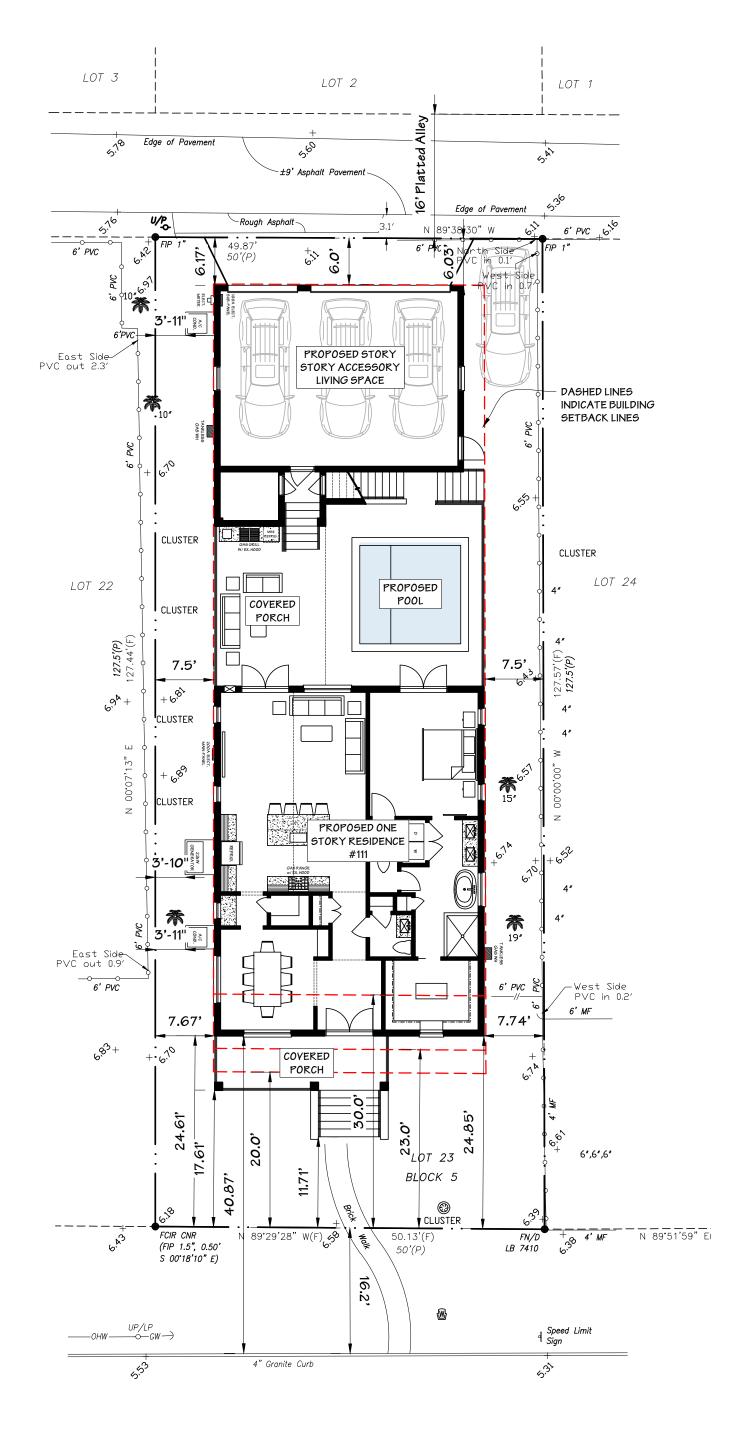
Entry doors and garage doors count toward fenestration.

Front and side elevation porch openings with no wall in the background shall count towards fenestration.

Transparency - glass or other transparent or translucent materials that are installed on the exterior façade.

Height in Feet - Floor			Total Sq. Ft of		Square Ft Actual	Transparency	Square Ft Actual
to Ceiling			Façade	Required	Fenestration	Required	Transparency
	Façade Length						
Front Elevation	in Feet			30%		E0 000/	
10.67		First Floor	369.9289	110.97867	157	50.00%	C7
0.00		Second Floor	369.9289	110.97867	157	55.489335 0	67
0.00	0.00		Ŭ	, ,	157.00	- J	67.00
		Total	369.93	110.98	157.00	55.49	67.00
Interior RIGHT Side	Façade Length						
Elevation	of front 2/3			20%		50.00%	
9.83	-	First Floor	294.9	58.98	59		25
0.00		Second Floor		36.98	39	29.49	33
0.00	0.00	Total		58.98	59.00	· ·	35.00
		IOtai	294.90	58.98	59.00	29.49	35.00
Interior LEFT Side	Façade Length						
Elevation	of front 2/3			20%		50.00%	
9.83		First Floor	511.16	102.232	330		226
0.00		Second Floor	311.10	102.232	330	31.110	220
0.00	0.00	Total	511.16	102.23	330.00	ŭ	226.00
		iotai	311.10	102.23	330.00	31.12	220.00
	Façade Length						
Street Side	in Feet			30%		50.00%	
0.00		First Floor	0	0		0	
0.00		Second Floor	0	0		0	
0.00	3.00	Total		0.00	0.00	ŭ	0.00
		iotai	0.00	0.00	0.00	0.00	0.00
	Façade Length						
	•			10%		50.00%	
Rear Flevation	in Feet						
Rear Elevation	in Feet	First Floor	320				
Rear Elevation 10.00 8.50	32.00	First Floor Second Floor	320 272	32 27.2	216 62	16 13.6	40





(60' Platted Right of Way)

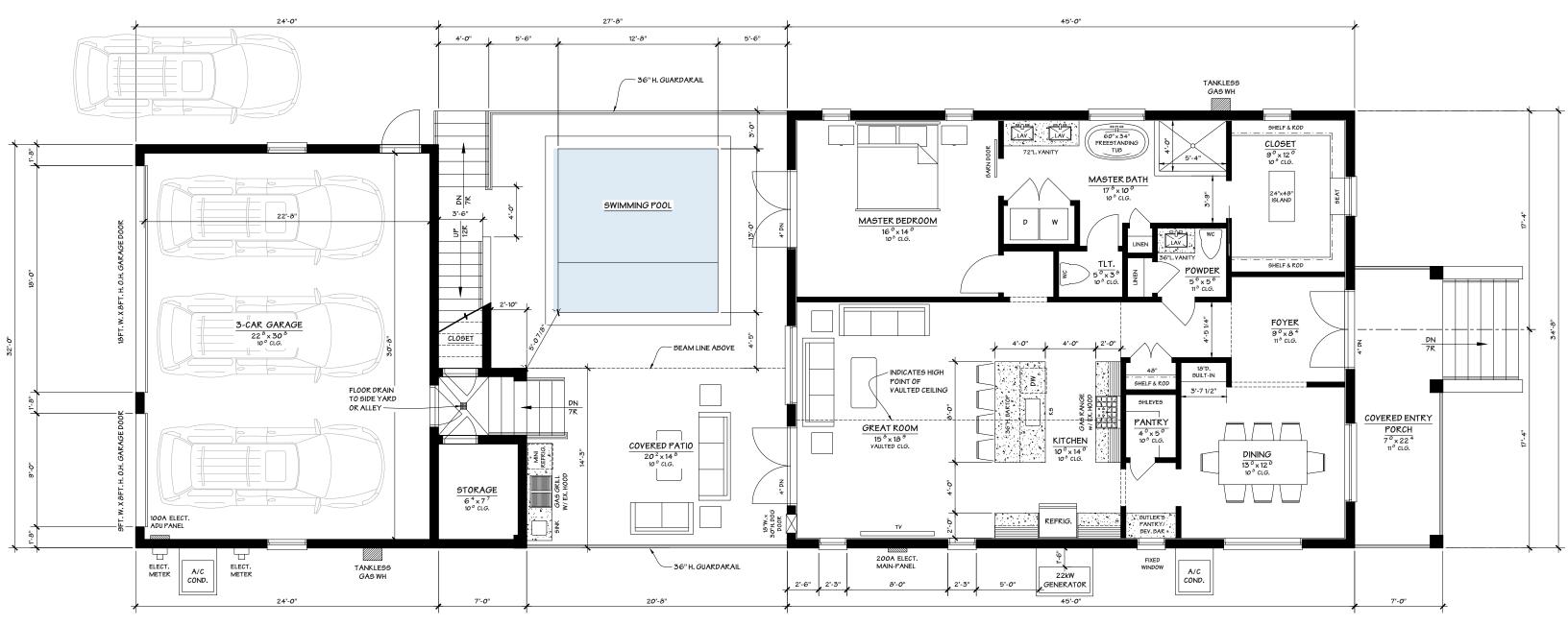
27th Avenue North
(27'± Asphalt Pavement)

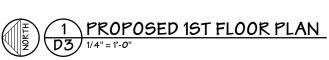


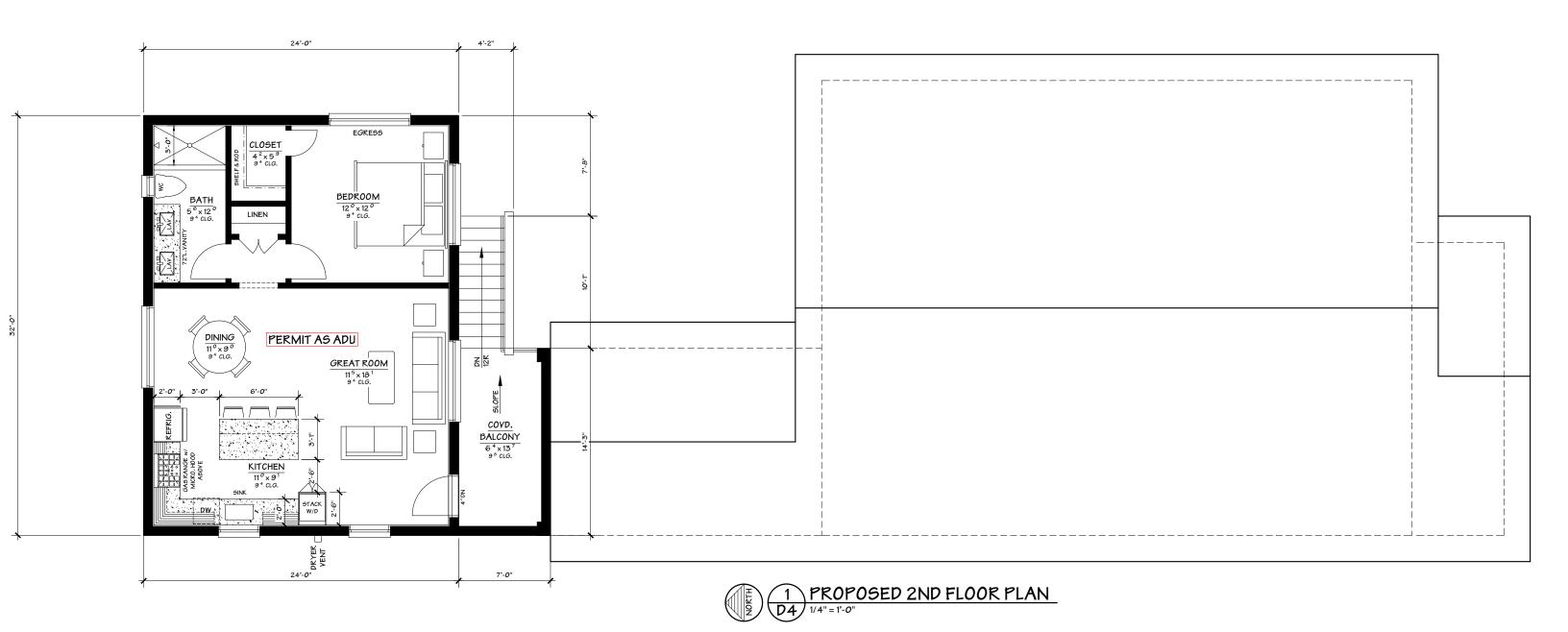






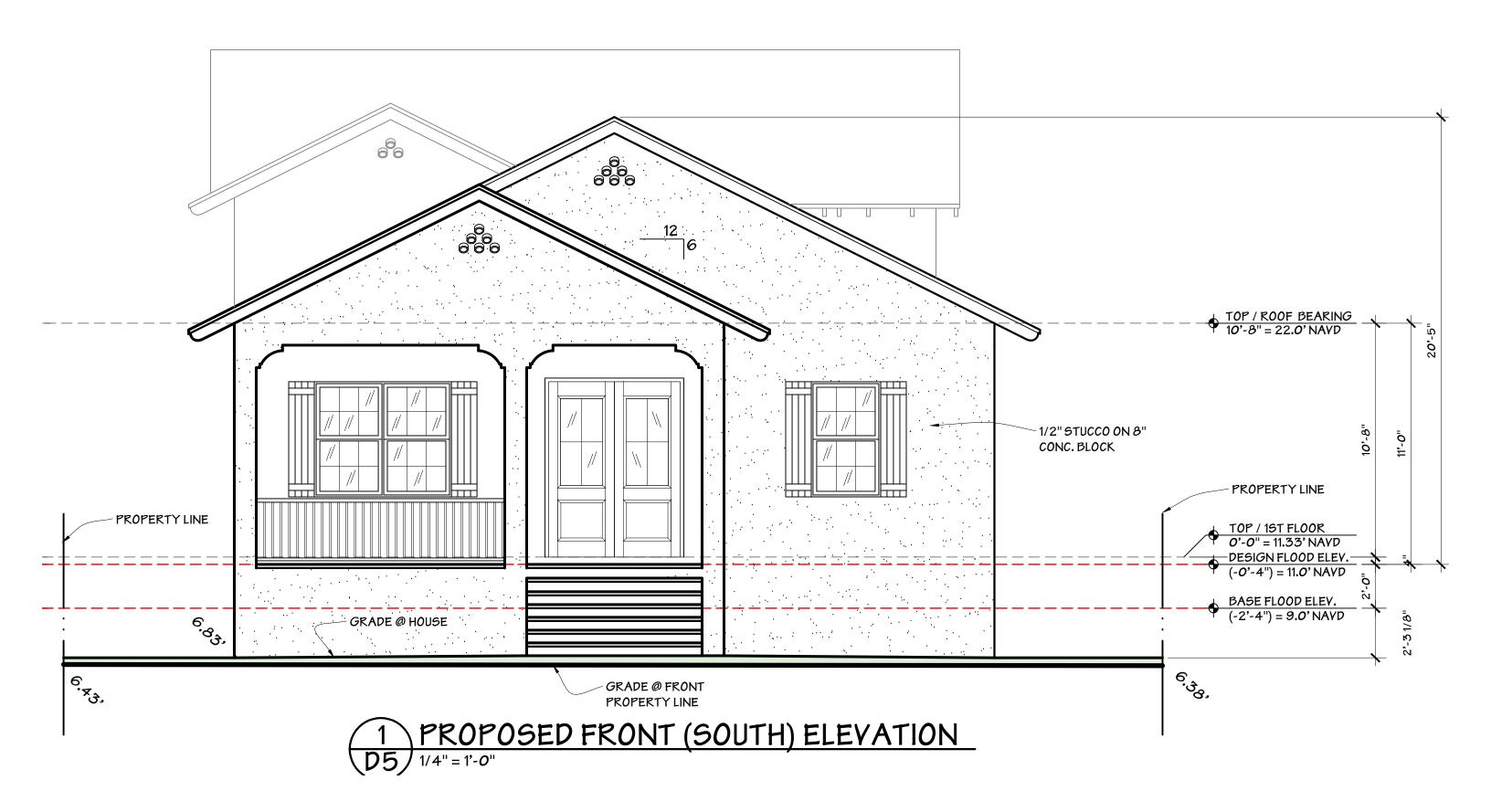


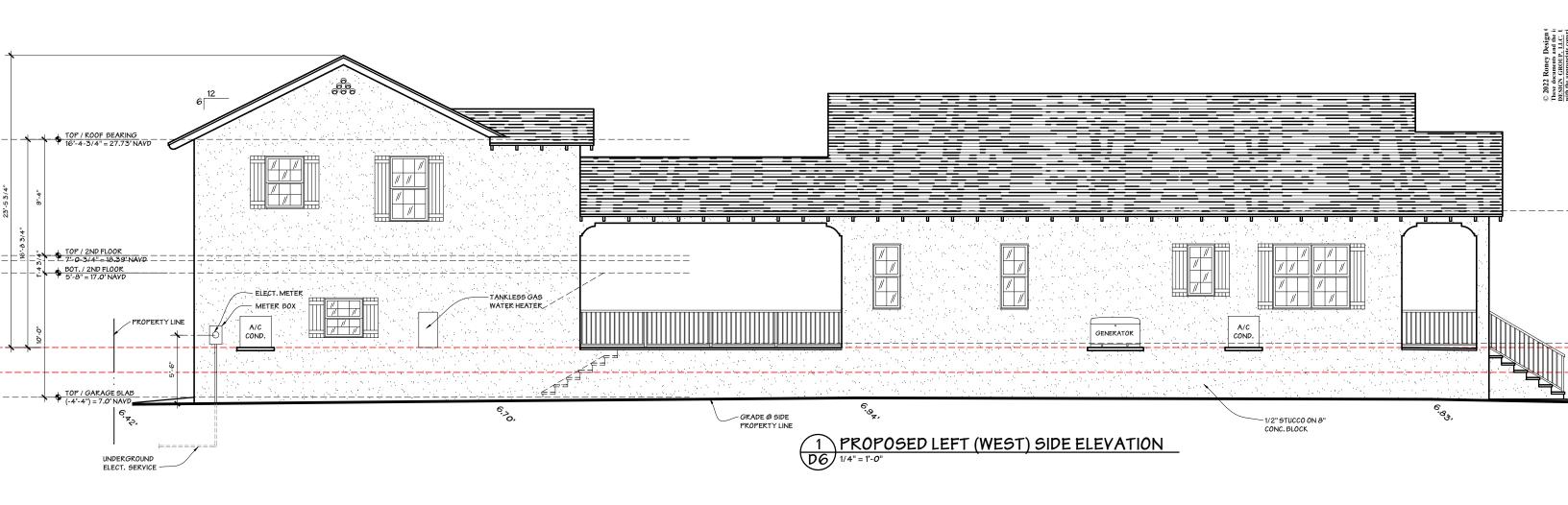


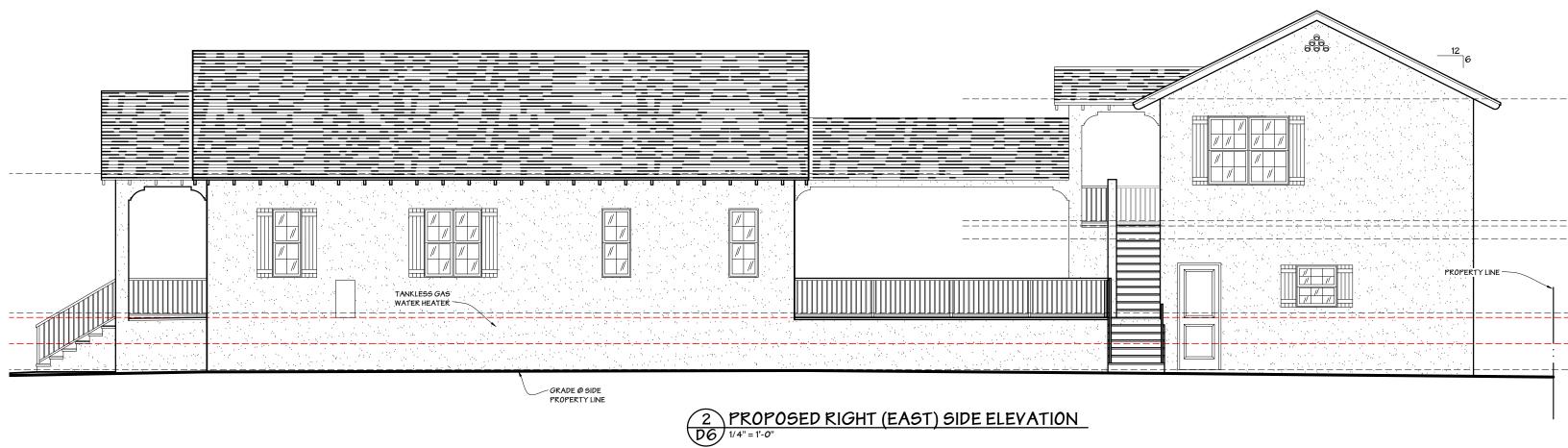


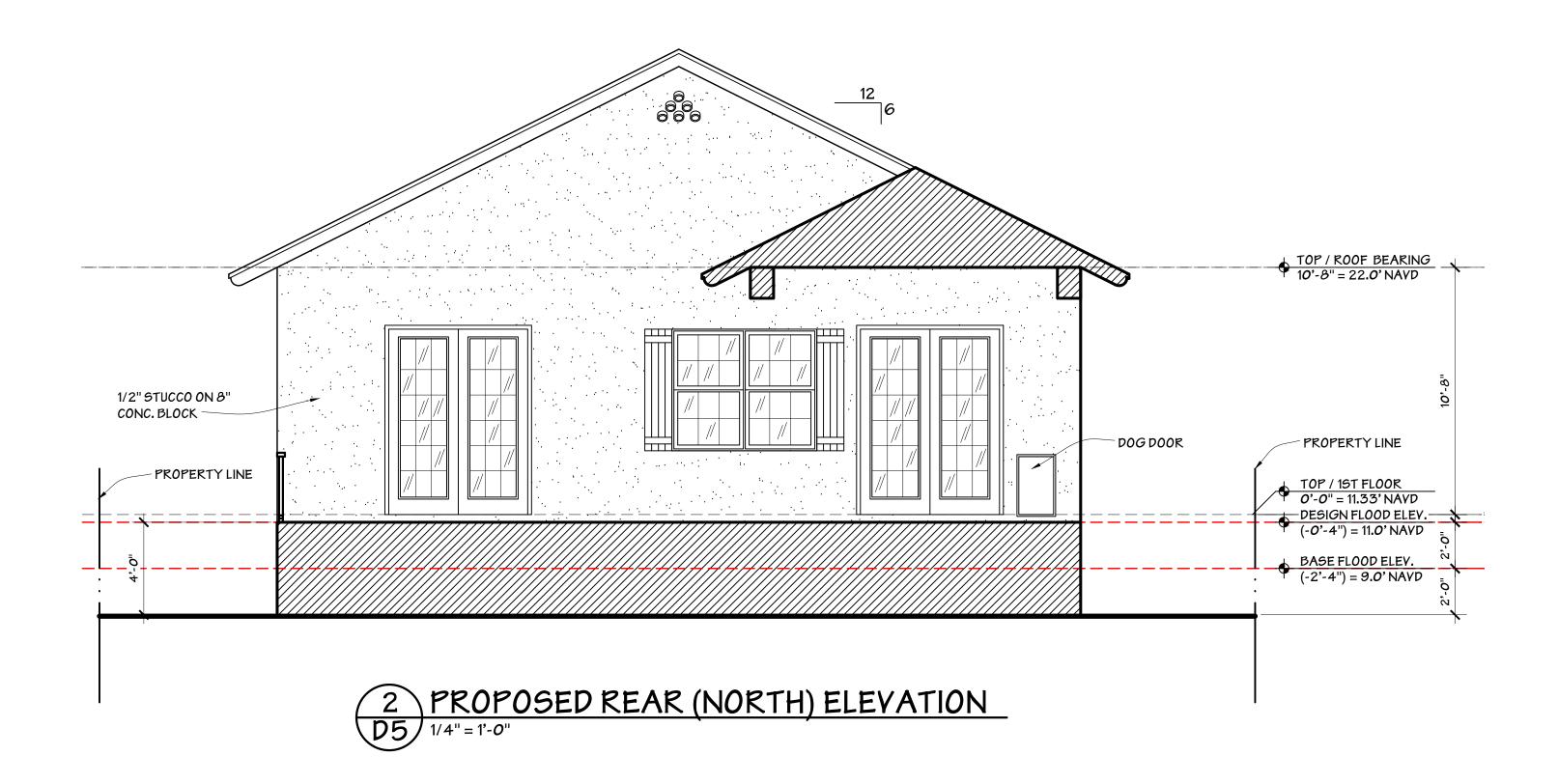


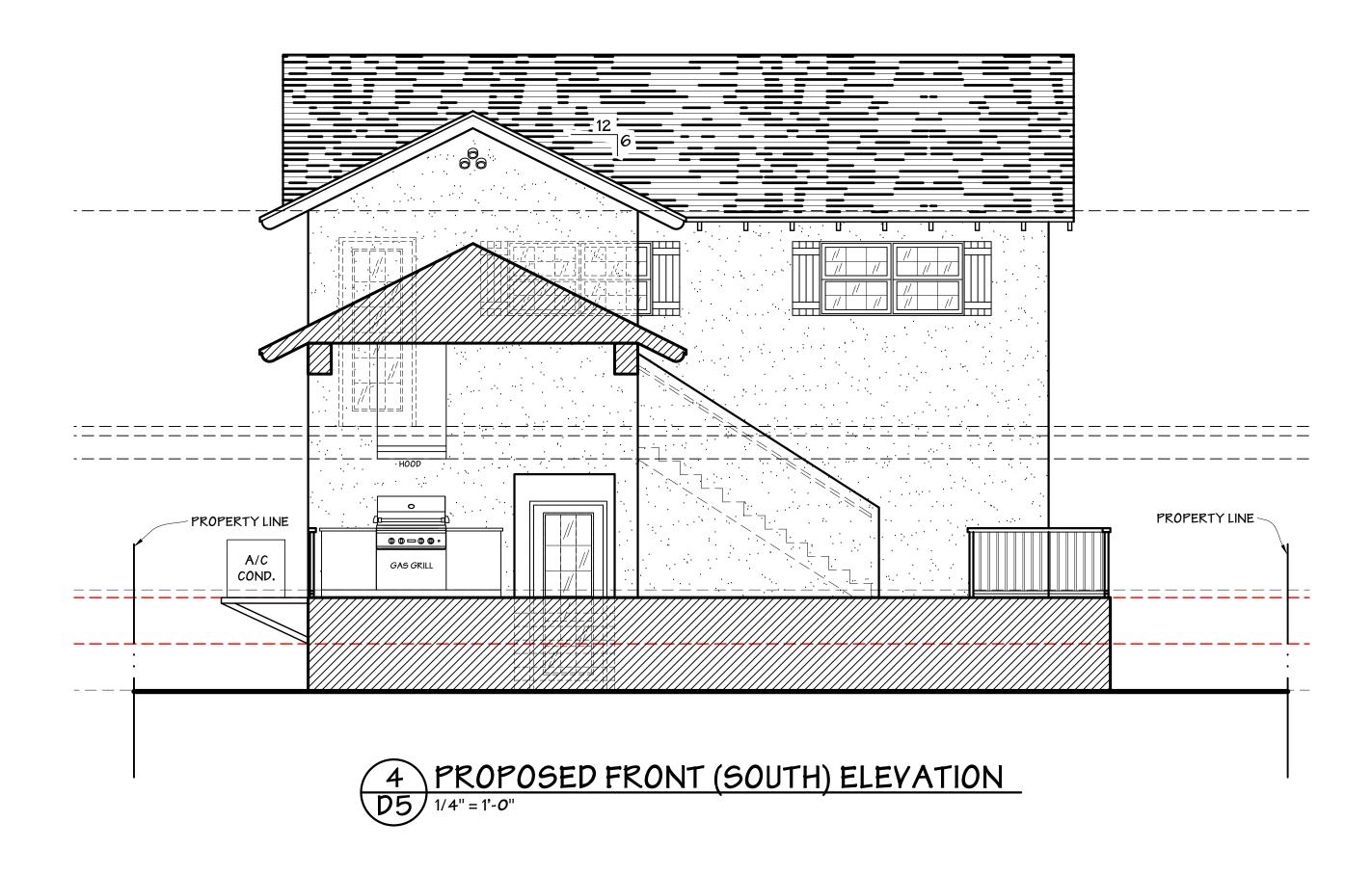


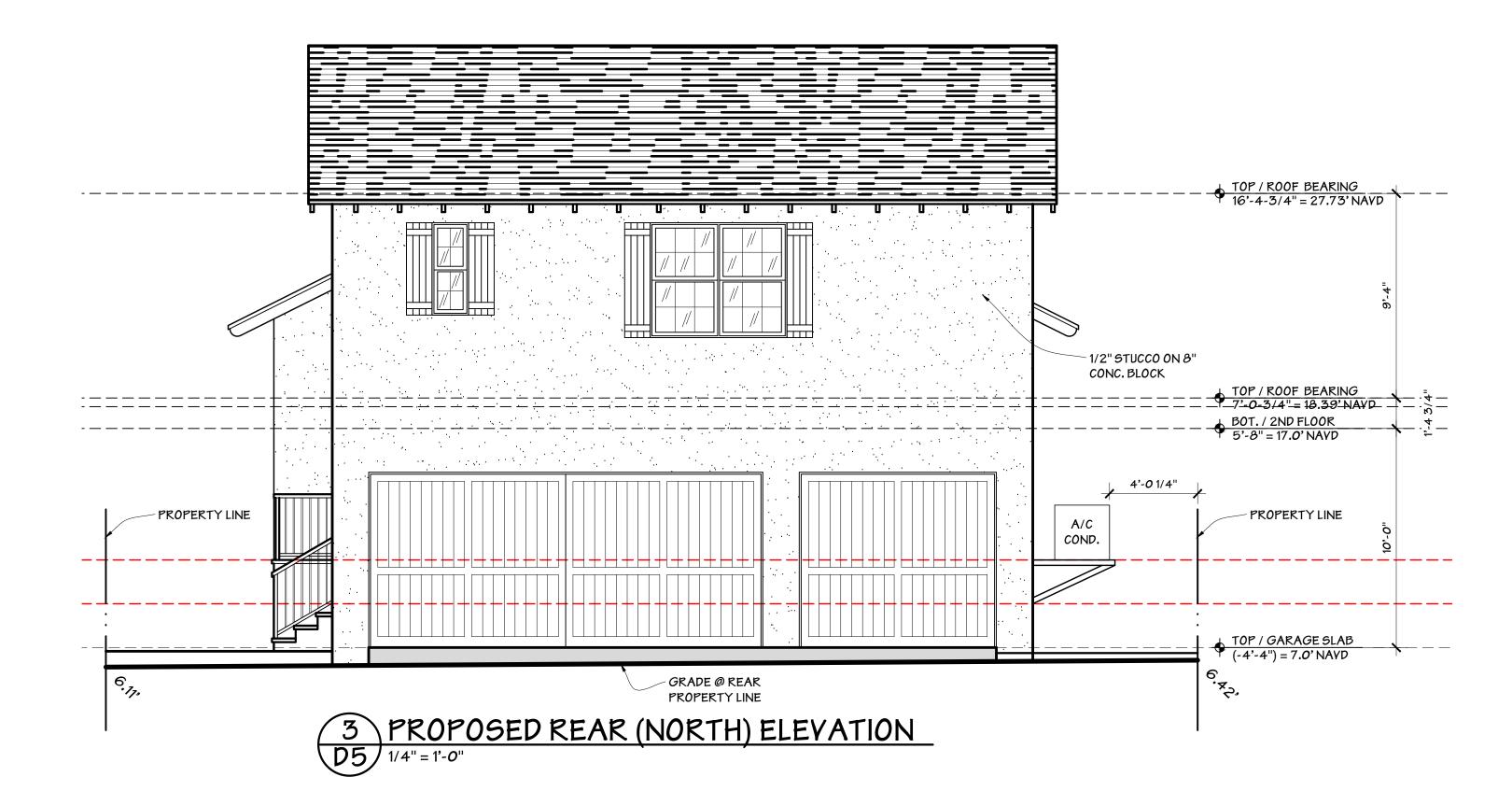












Michael W. Larimore

From:

rlreed@tampabay.rr.com

Sent:

Monday, December 12, 2022 10:19 PM

To:

Michael W. Larimore

Cc:

'John Johnson'; 'Sean Roney'; April Cabral; Charleen McGrath; Doug Gillespie; John Peter

Barie; kimbyflies@yahoo.com; Nick Bell; RLREED@tampabay.rr.com

Subject:

Re: 111 27th Ave N

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Re: 111 27th Ave N

Mr. Larimore,

The Historic Old Northeast Neighborhood Association supports the requested variance for a front yard setback for new construction at 111 27th Avenue N. We are sorry that an existing house will be demolished, but appreciate that 3-dimensional muntins and 'working' shutters, both of which are appropriate in Traditional neighborhoods, will be considered for the windows.

We also support the variance for the sidewalk, as this avenue does not have sidewalks.

Regards,

Robin Reed

Chair, HONNA Planning and Preservation Committee

DEC 1 3 2022

DEVELOPMENT REVIEW SERVICES